

Y. Additional information included in the description of property and improvements section of the report

1. For marketing purposes, there is no "named" 13th floor, however construction necessitates a 13th floor; hence, two different methods of numbering the floors exist and are shown below. Please note that all floor plans, apartment drawings, and other references to floors in this report utilize marketing floor designations.

Construction Floor	Marketing Floor	Unit Designation
1	1	-
2	2	A
3	3	A-F, H, J-N, R-T
4	4	A-F, H, J-N, R-T
5	5	A-F, H, J-N, R-T
6	6	A-F, H, J-N, R-T
7	7	A-D, F, H, J-N, R-T
8	8	A-D, F, H, J-N, R-T
9	9	A-D, F, H, J-N, R-T
10	10	A-D, F, H, J-N, R-T
11	11	A-D, F, H, J-N, R-T
12	12	A-D, F, H, J-N, R-T
13	14	A-H, I, K, R-T
14	15	A, C-H, I, K, R-T
15	16	A-F, RH1, RH2
16	17	A-F
17	18	A-F
18	19	A-F
19	20	A-F
20	21	A-F
21	22	A-F
22	23	A-F
23	24	A-F
24	25	A-F
25	26	A-F
26	27	A-F
27	28	A-F
28	29	A-F
29	30	A-F
30	31	A-F
31	32	A-F

2. Floor plans for each unit are drawn to a graphic scale and show room dimensions: See attached plans.

3. Abbreviations for information on the attached plans are as follows:

BOH	Back of House
D/W	Dishwasher

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REF	Refrigerator
W/C	Wine Cooler
W/D	Washer Dryer
WIC	Walk in Cooler
RH	River House

Z. Asbestos: None

I have examined the records available at the New York City Department of Buildings and have personally inspected the premises. To the best of my knowledge and belief, this report contains an accurate description of the building. This report is not intended for the purpose of fixing financial value to the property. It is not within the scope of this report to note every future modification or deficiency of construction or maintenance. Except as specifically noted in this report, no representation is made as to the condition or legality of various elements in the building. The Mechanical, Electrical & Plumbing Engineer - Central Associates, Structural Engineer - Deslone Consulting Engineers, Environmental Engineers/Geotechnical - Largent Engineering, Elevator Consultant - Van Dusen and Associates, and Interior Designer - Rockwell Group are responsible for the work performed under their jurisdiction as indicated by their signed and sealed drawings associated with the architectural drawings on file with the New York City Buildings Department.

The foregoing constitutes a true, correct and complete Description of Property prepared by our firm for Site 16/17 Development LLC.

AA. Further Development:

No further development of the project site is anticipated



Valerie L. Taylor
 VALERIE L. TAYLOR
 Notary Public, State of New York
 No. 0174866519
 Created in Queens County
 Commission Expires Dec. 30, 2016

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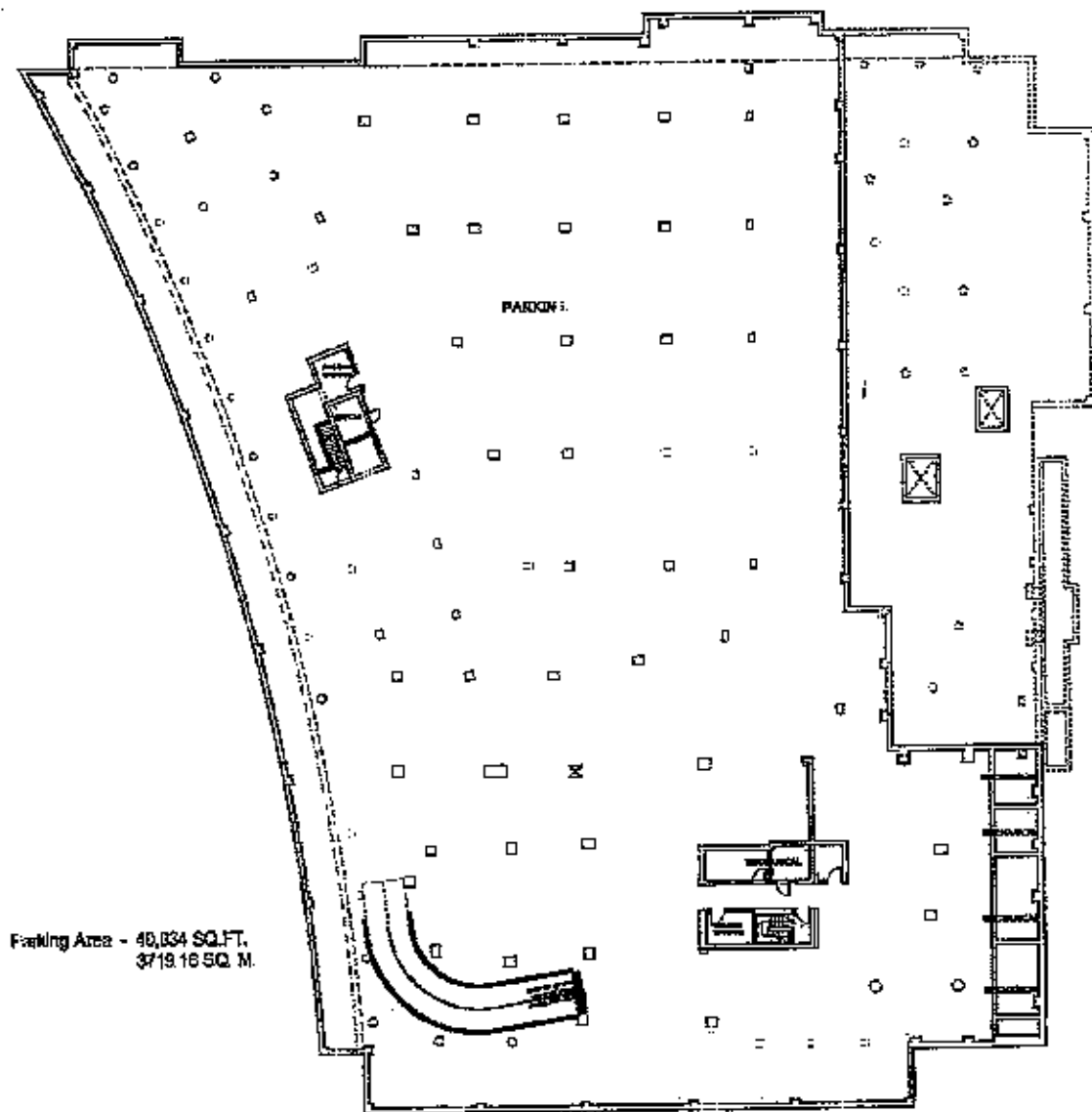
EXHIBIT "5"

FLOOR PLANS

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RIVERHOUSE ON ROCKEFELLER PARK

Battery Park City, New York



Parking Area - 40,834 SQ. FT.
3719.16 SQ. M.

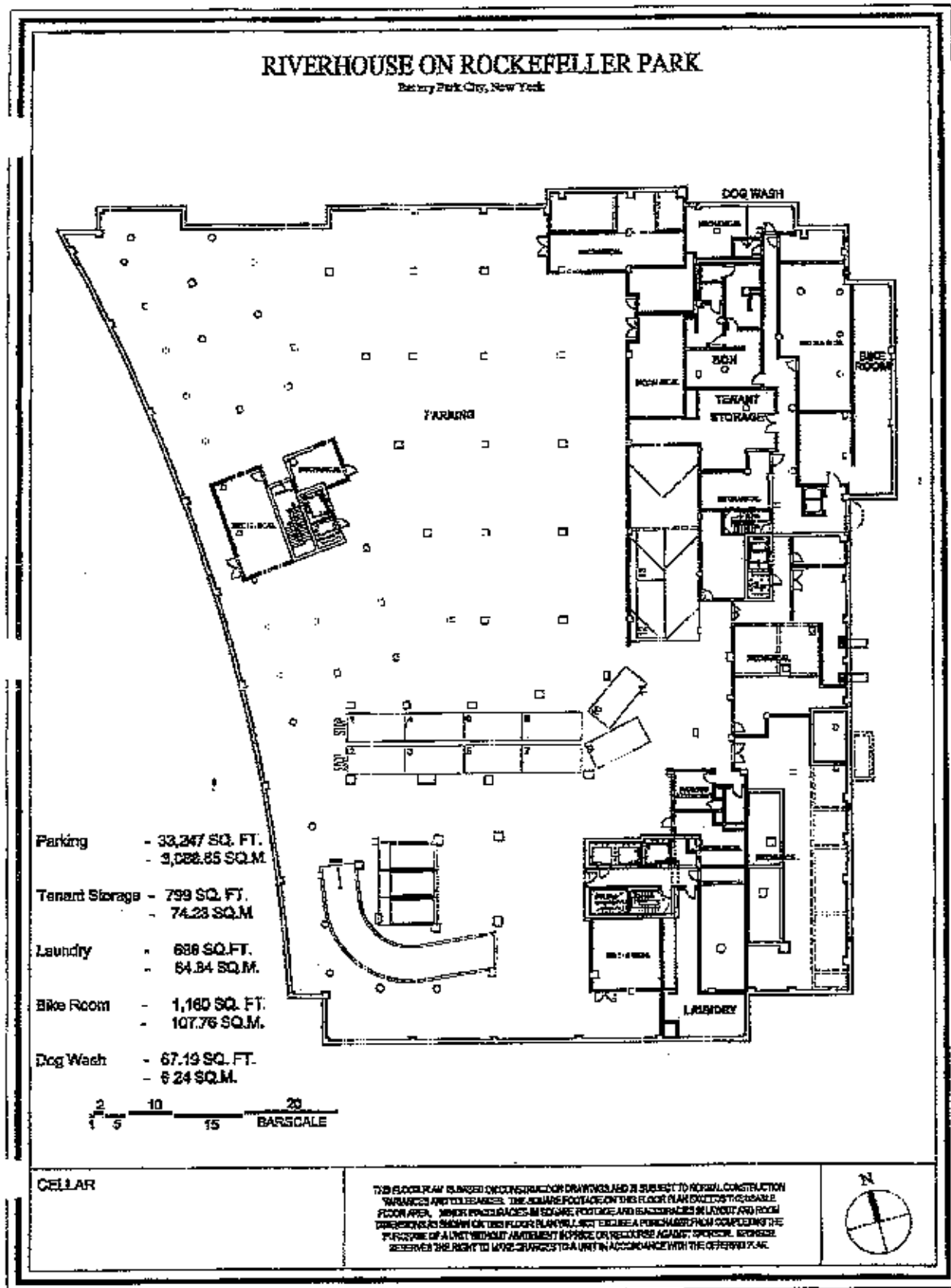
2 10 20
1 5 15 BARSCALE

SUBCELLAR

THIS FLOOR PLAN IS BASED ON CONSTRUCTION DOCUMENTS AND IS SUBJECT TO NORMAL CONSTRUCTION VARIANCES AND TOLERANCES. THE SQUARE FOOTAGE ON THIS FLOOR PLAN EXCEEDS THE USABLE FLOOR AREA. MEASURED PERIMETERS IN SQUARE FOOTAGE AND BACKGROUND IN LAYOUT AND ROOM DIMENSIONS ON THIS FLOOR PLAN WILL NOT EXCEED A PURCHASER FROM COMPLETION. THE PURCHASER OF A UNIT WITHOUT PAYMENT IN PRICE OR RESERVE AGAINST SPONSOR. SPONSOR RESERVES THE RIGHT TO MAKE CHANGES TO A UNIT IN ACCORDANCE WITH THE OFFERING PLAN.



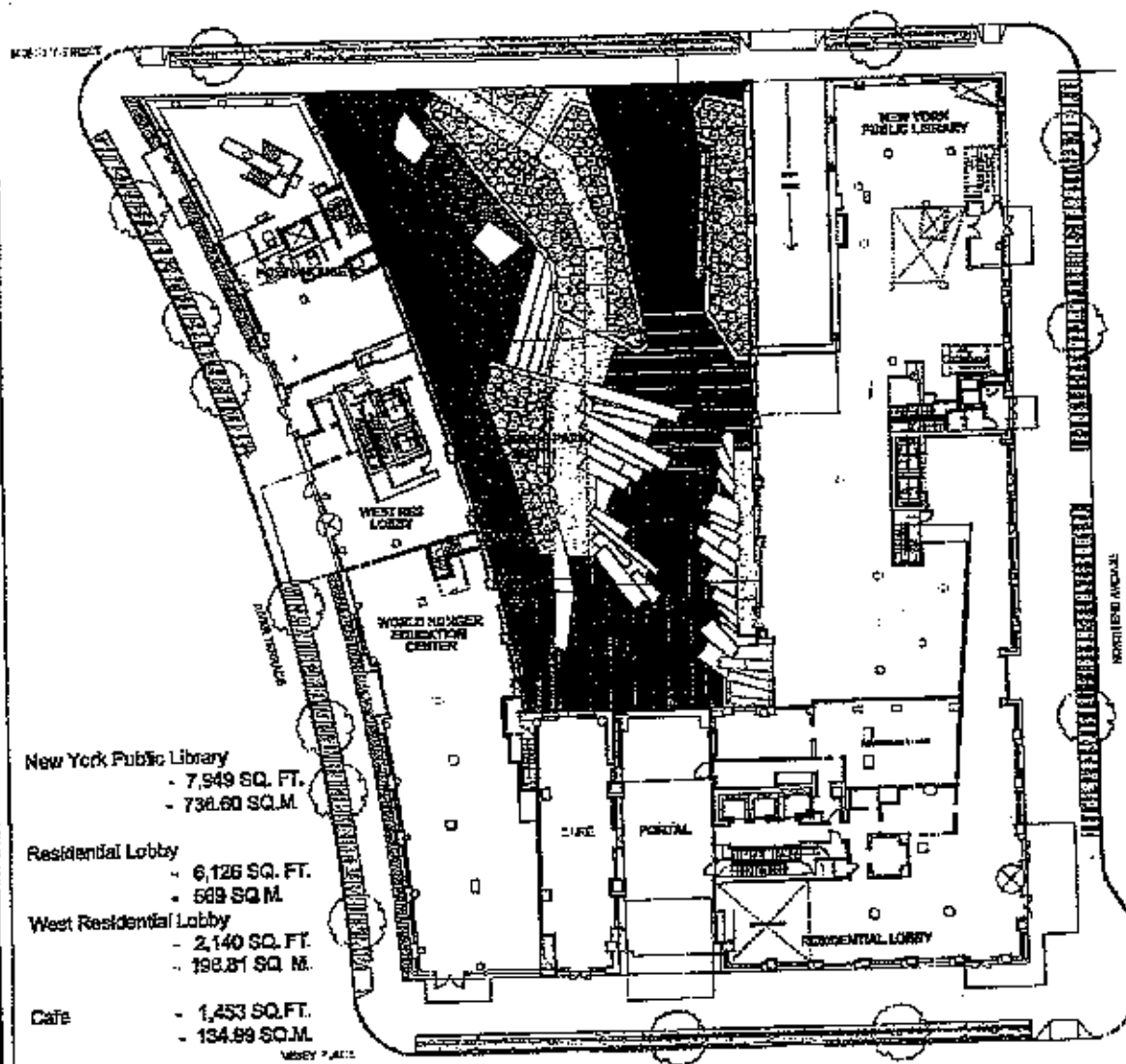
306



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RIVERHOUSE ON ROCKEFELLER PARK

Battery Park City, New York



New York Public Library
- 7,949 SQ. FT.
- 736.60 SQ.M.

Residential Lobby
- 6,126 SQ. FT.
- 569 SQ.M.

West Residential Lobby
- 2,140 SQ. FT.
- 198.81 SQ. M.

Cafe
- 1,453 SQ. FT.
- 134.89 SQ.M.

W.H.E.C.
- 4,134 SQ. FT.
- 384.65 SQ.M.

Post Office
- 3,372 SQ. FT.
- 313.29 SQ.M.

0 10 20
5 15 25
EARS SCALE

GROUND FLOOR

GROSS AREA = 30,182 SQ.FT.
= 2,804 SQ.M.

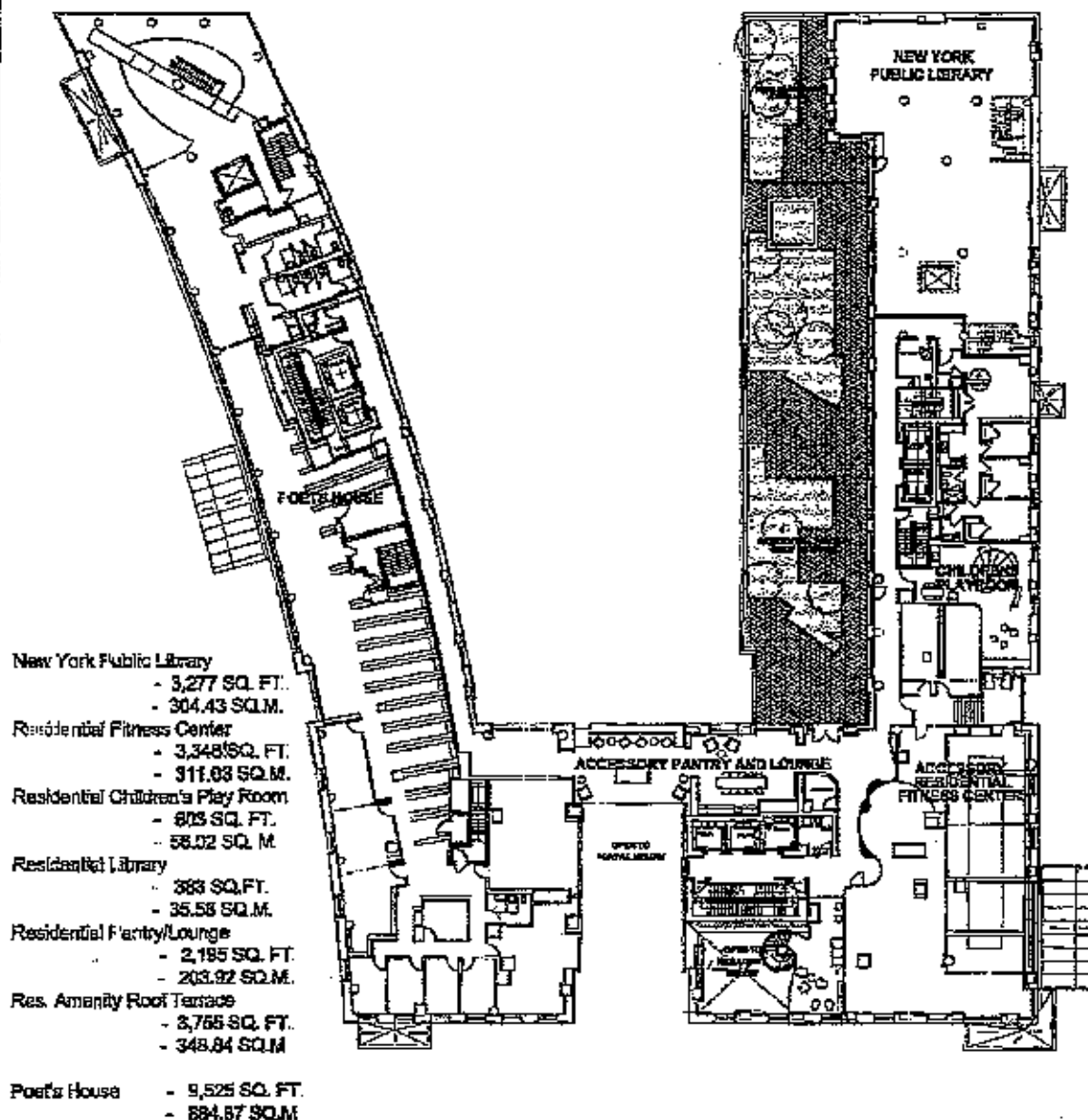
NET AREA = 29,126 SQ.FT.
= 2,705 SQ.M.

THIS FLOOR PLAN IS BASED ON CONSTRUCTION DRAWINGS AND IS SUBJECT TO MODAL CONSTRUCTION VARIANCES AND TOLERANCES. THE SQUARE FOOTAGE ON THIS FLOOR PLAN EXCEEDS THE USABLE FLOOR AREA. INNOVATION ARCHITECTS IN SQUARE FOOTAGE AND ACCURACY IN LAYOUT AND ROOM DIMENSIONS AS SHOWN ON THIS FLOOR PLAN WILL NOT EXCLUDE A PURCHASER FROM COMPLETING THE PURCHASE OF A UNIT WITHOUT A SETBACK IN PRICE OR RESCUE AGAINST SPONSOR. SPONSOR RESERVES THE RIGHT TO MAKE CHANGES TO A UNIT IN ACCORDANCE WITH THE OFFERING PLAN.



RIVERHOUSE ON ROCKEFELLER PARK

Manhattan, New York



2 10 20
1 5 15 BAR SCALE

2ND FLOOR

GROSS AREA = 24,235 SQ. FT.
= 2,251 SQ.M.
NET AREA = 23,387 SQ. FT.
= 2,173 SQ.M.

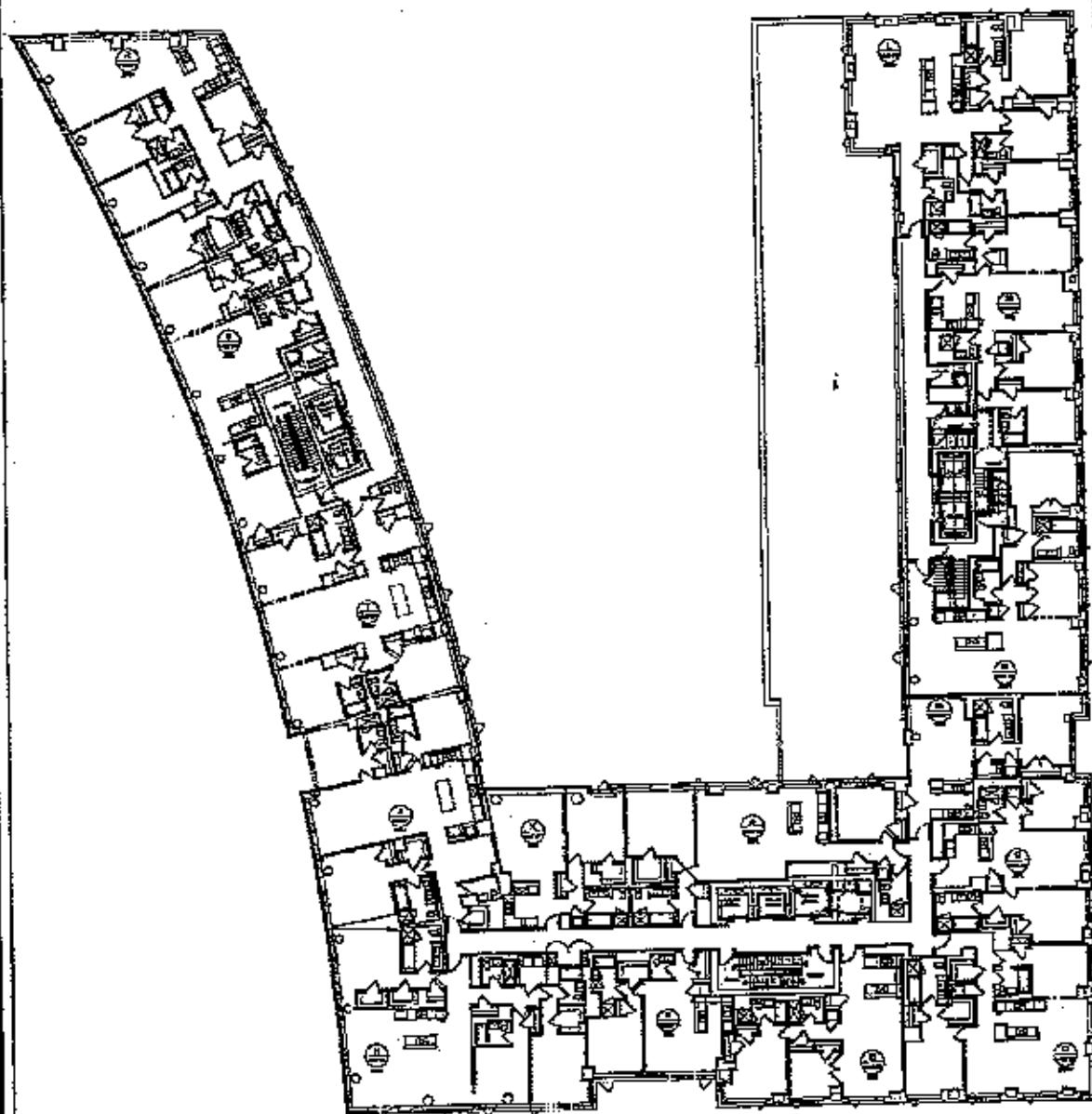
THIS FLOOR PLAN IS BASED ON CONSTRUCTION DRAWINGS AND IS SUBJECT TO NORMAL CONSTRUCTION VARIATIONS AND TOLERANCES. THE SQUARE FOOTAGE ON THIS FLOOR PLAN EXCEEDS EXISTING FLOOR AREA. WORK INCORPORATED IN EXISTING FOOTAGE AND IN CONSTRUCTION OF ROOF AND ROOM EXCEEDS AS SHOWN ON THIS FLOOR PLAN WILL NOT BE INCLUDED IN THE TOTAL SQUARE FOOTAGE. THE PURCHASER OF A UNIT IN THIS PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.



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RIVERHOUSE ON ROCKEFELLER PARK

Battery Park City, New York



3RD FLOOR

GROSS AREA = 25,408 SQ. FT.

= 2,360 SQ. M.

NET AREA = 24,519 SQ. FT.

= 2,279 SQ. M.

THIS FLOOR PLAN IS BASED ON CONSTRUCTION DRAWINGS AND IS SUBJECT TO NORMAL CONSTRUCTION VARIANCES AND TOLERANCES. THE SQUARE FOOTAGE ON THIS FLOOR PLAN EXCEEDS THE AVAILABLE FLOOR AREA. MINOR VARIANCES IN SQUARE FOOTAGE AND DIMENSIONS IN LAYOUT AND ROOM DIMENSIONS AS SHOWN ON THIS FLOOR PLAN WILL NOT BE USED AS A BASIS FOR ANY CLAIMS OR DISPUTES. THE PURCHASER OF A UNIT, HIGH-OUT APARTMENT IN THIS OR ANY OTHER UNIT, SHALL BE DEEMED TO HAVE AGREED TO THE RIGHT TO MAKE CHANGES TO A UNIT IN ACCORDANCE WITH THE OFFERING PLAN.

